

> DEVELOPMENT APPLICATION DOCUMENTATION > 20/06/2025

> ROBERTS
> 5372 > DWELLING
> LOT 8, DP 1106497
> FERNDALE ROAD, YARRAWA

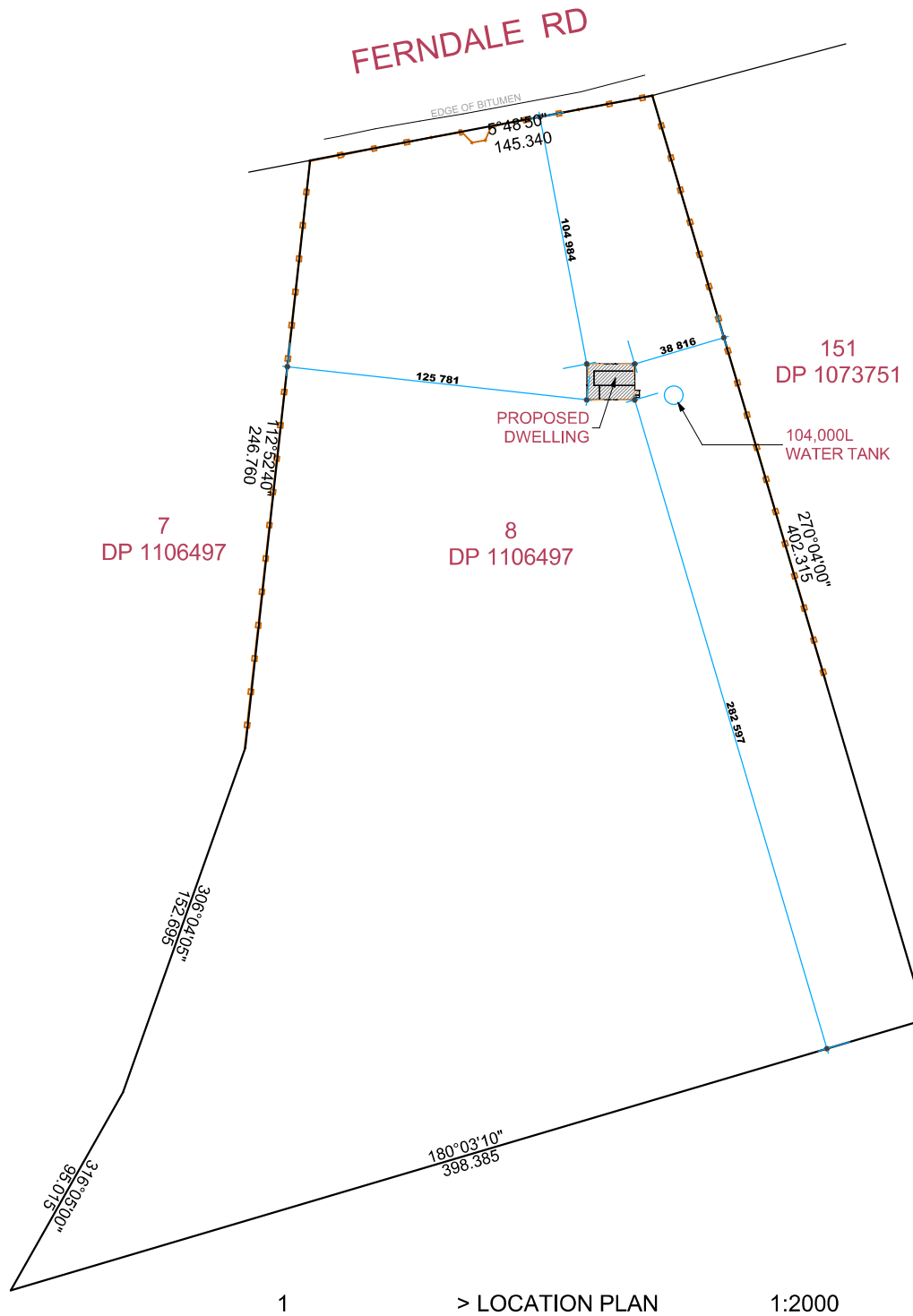


> REVISION SCHEDULE

REV	DESCRIPTION	DATE

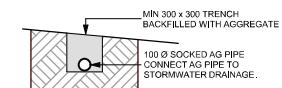
> LAYOUT INDEX

#	LAYOUT NAME
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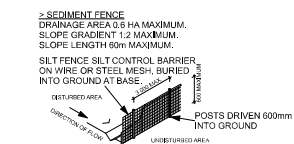


> LOCATION PLAN

1:2000



> SITE DRAINAGE DETAIL



> SEDIMENT CONTROL FENCE

> NOTE

> SITE LEVELS ARE APPROXIMATE ONLY, PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.

> NO SUBTERRANEAN INVESTIGATIONS HAVE BEEN UNDERTAKEN, IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIAL BEFORE YOU DIG ON PHONE No. 1100 or www.1100.com.au PRIOR TO ANY EXCAVATION OR EARTHWORKS

DIAL BEFORE YOU DIG
www.1100.com.au

> SEDIMENT CONTROLS

> 1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PROTECTION FROM DISCHARGE OF ANY POLLUTION FROM THE SITE.

> 2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.

> 3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEARED UPON REACHING A MAXIMUM OF 75% CAPACITY, REMOVED SEDIMENT SHALL BE SPREAD WITHIN DISTRIBUTION AREAS ON THE SITE.

> 4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING OR MULCHING (BY OWNER). SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

> SITE STATISTICS

FLOOR SPACE RATIO	NA
SITE COVERAGE	NA
LANDSCAPE AREA	NA

> AREAS

	AREA (m ²):
SITE AREA	101 956,15

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0 2 4 6 8 10
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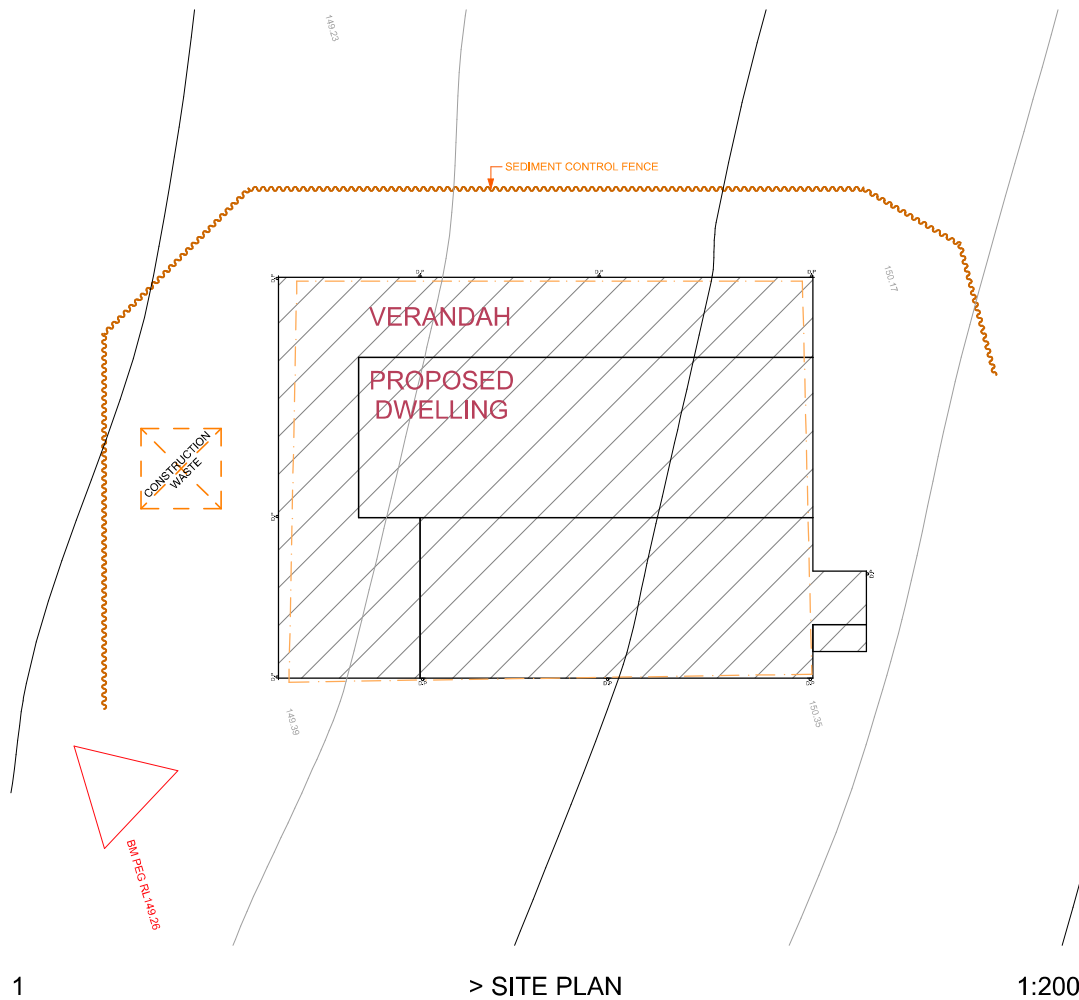
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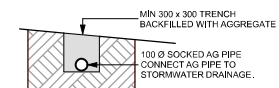
> Designer > TB	> Drafter > JVA
> Job No. > 5372	> Revision No. > DA-1
> Drawing No. > 1.2	

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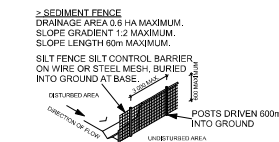


> SITE PLAN

1:200



> SITE DRAINAGE DETAIL



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LANDSCAPE AREA	NA

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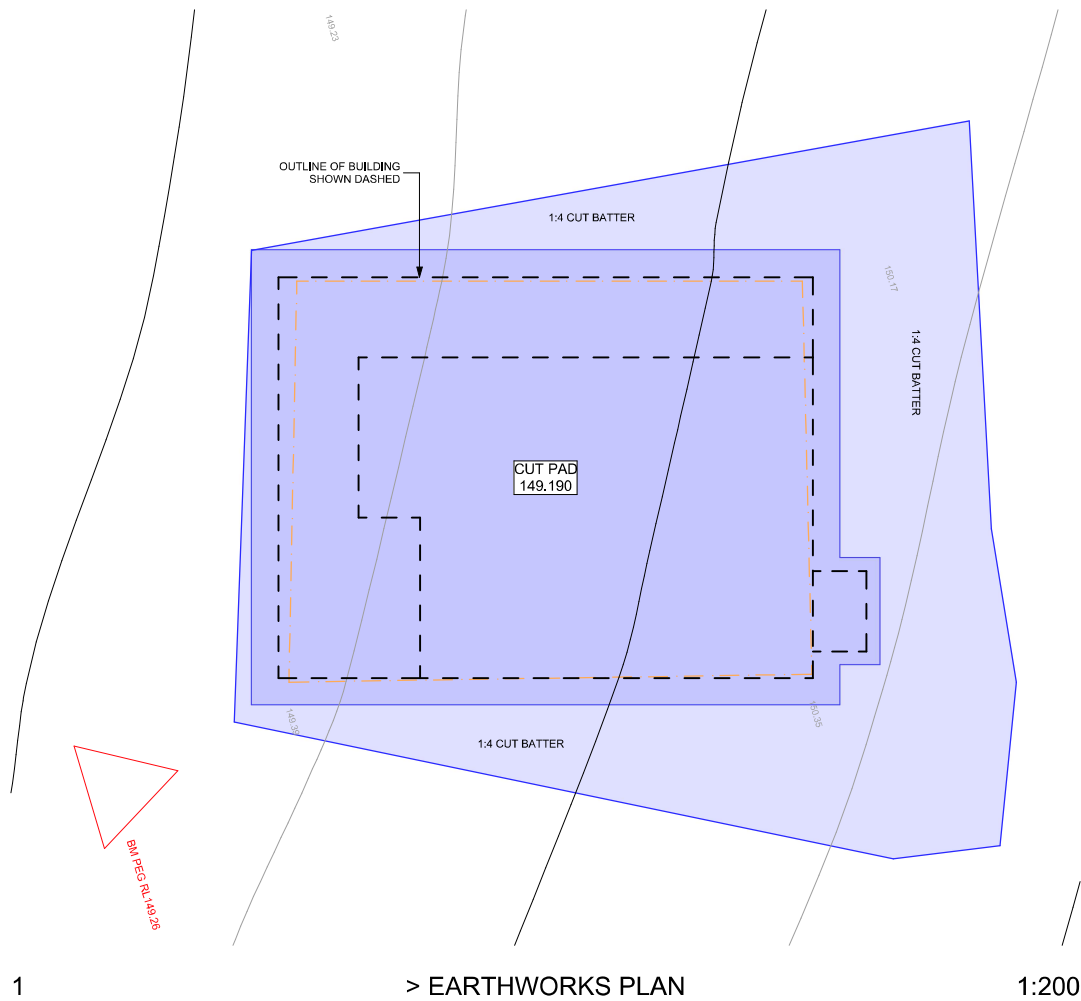
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> NOTES

> SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.

> CUT AND FILL VOLUMES ARE ESTIMATED BASED ON SITE MODELLING USING ArchiCAD. IT DOES NOT TAKE INTO ACCOUNT SOIL CLASSIFICATION, MOISTURE CONTENT, ROCK, VEGETATION, COMPACTION, OR "FLUFF RATE"

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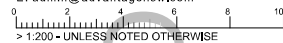
> EXCAVATION VOLUMES

CUT / FILL	VOLUME (m³)
CUT VOLUME	343.07

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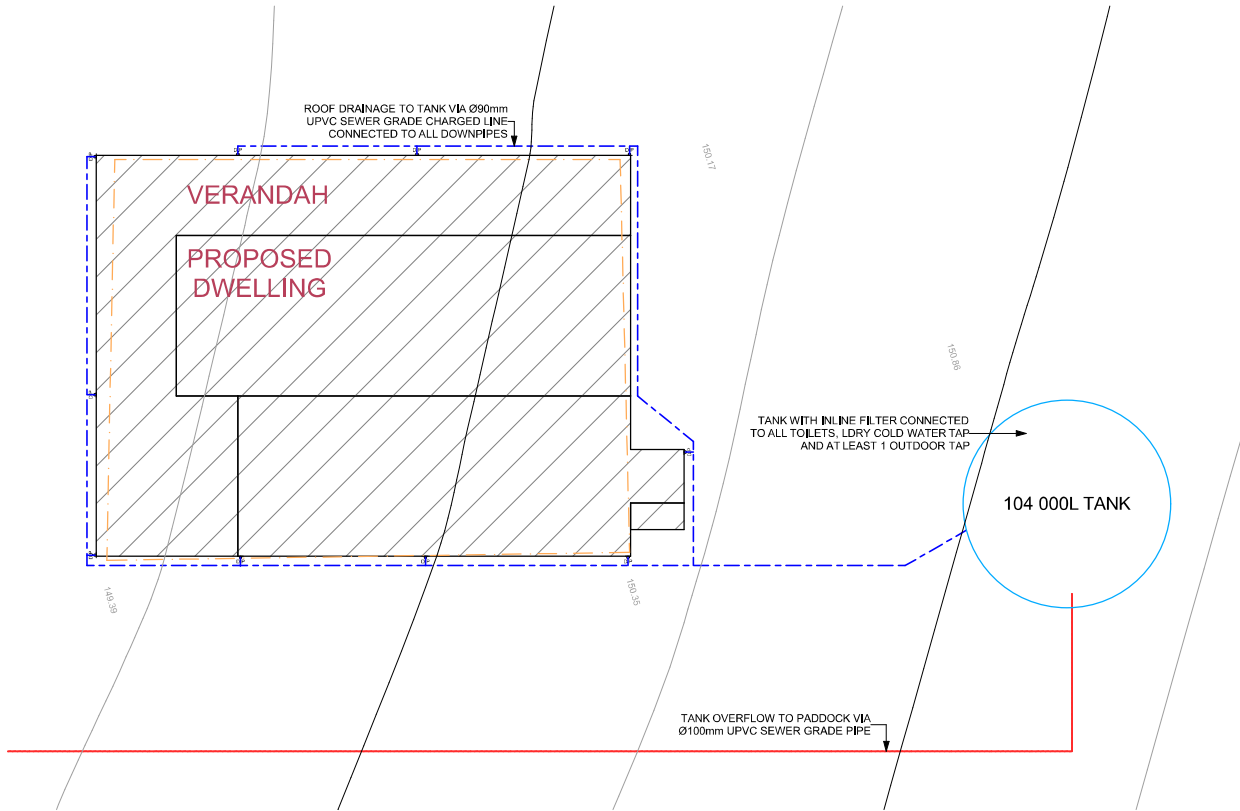
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1 > ON-SITE STORMWATER DETENTION PLAN 1:200

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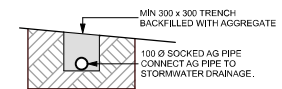
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> 5372	> DA-1	> 1.5

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> SITE DRAINAGE DETAIL

> SEDIMENT FENCE

DRAINAGE AREA 0.8 HA MAXIMUM.

SLOPE GRADIENT 1:2 MAXIMUM.

SLOPE LENGTH 90m MAXIMUM.

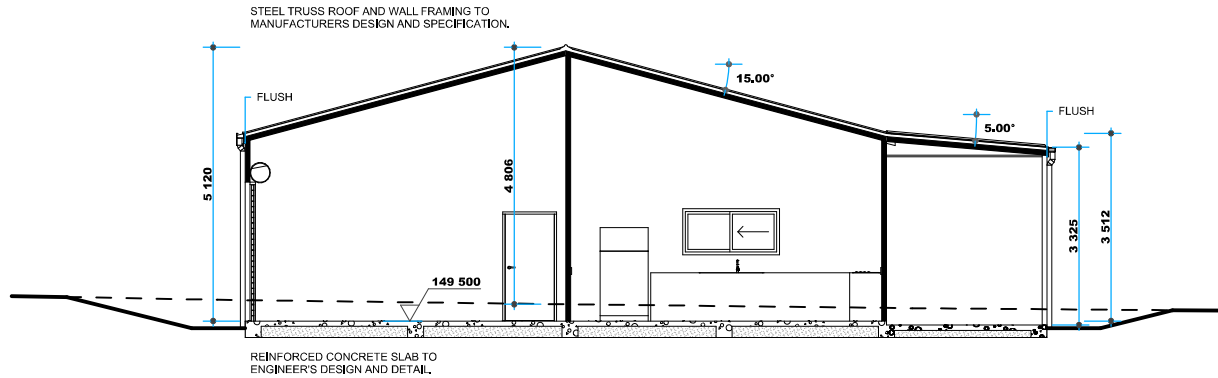
SILT FENCE SILT CONTROL BARRIER ON WIRE OR STEEL MESH. BURIED INTO GROUND AT BASE.

POSTS DRIVEN 600mm INTO GROUND

UNBETTERED AREA

DIRECTION OF FLOW

> SEDIMENT CONTROL FENCE



1

> SECTION

1:100

> BASIX SPECIFICATIONS

FERNDALE Road YARRAWA 2328			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX commitments as detailed in the BASIX Certificate. Refer to the BASIX Certificate #1800537S_03 for Complete details. For more information refer to the NSW Government's BASIX website.			
PROJECT TYPE			
Project type - Dwelling House			
SITE DETAILS			
Site area - 101956m²			
Roof area - 300m²			
Area of garden & lawn - 300m²			
WATER COMMITMENTS			
Fixtures:			
4 star shower heads (L/min)	>6.0<=7.5	Star toilet	4
Star kitchen taps	5	Star basin taps	5
Alternative water:			
Tank size	10 000L	Roof area	300 m²
Tank connected to:			
All toilets	Yes	Laundry W/M cold tap	Yes
One outdoor tap	Yes		
THERMAL COMFORT COMMITMENTS			
Construction:		Additional Insulation Requirements:	
Windows / glass doors		U: <=3.0; SHGC: > 0.6	
Windows marked "OBS"		Obscured glass	
Floor - Concrete slab on ground		NIL	
External Wall - Cladded frame		R3.00 (or 3.50 including construction) with one of the measures to address thermal bridging	
Int. Wall. - Plasterboard		NIL	
Int. Wall Shared with Garage - Plasterboard		R1.08(or 1.50 including construction)	
Ceiling - (RAKED) (Pitched roof) - Plasterboard		R5.5(up) minimum bulk insulation with one of the measures to address thermal bridging	
Roof - Custom Orb (DARK colour)		55mm foil backed blanket; (unventilated)	
ENERGY COMMITMENTS			
Hot Water	Type	Electric Storage	N/A
Cooling Systems	Living	Ceiling fan(s) + 1 phase A/C (Ducted)	EER3.0-3.5 or better
	Bedrooms	Ceiling fan(s) + 1 phase A/C (Ducted)	EER3.0-3.5 or better
Heating System	Living	1 phase A/C (Ducted)	EER3.0-3.5 or better
	Bedrooms	1 phase A/C (Ducted)	EER3.0-3.5 or better
Ventilation	Bathroom	Individual fan, ducted to roof or façade	Manual on / off
	Kitchen	Individual fan, ducted to roof or façade	Manual on / off
	Laundry	Natural	N/A
Natural Lighting	Window / skylight in kitchen	Yes	
	Window / skylight in bathrooms / toilets	Yes	to 1
Artificial Lighting	A minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Indoor clothes line	No	Photovoltaic system (min.)	2kW
Stove / oven		Electric cook top / electric oven	

> GENERAL NOTES

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- > 2. ALL DIMENSIONS AND LEVELS TO BE CHECKED AND VERIFIED BY THE BUILDER.
- > 3. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, CODES AND LOCAL AUTHORITIES.
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- > 7. C-J BRICKWORK CONTROL JOINT.

> WINDOW NOTES

WINDOWS LABELLED (FS) ARE TO COMPLY WITH PART 11.3.7 AND 11.3.8 OF THE HOUSING PROVISIONS STANDARD 2022
WINDOWS LABELLED OBS - OBSCURED GLASS

> EXTERNAL FINISHES

- > CLADDING: COLORBOND
- > WINDOWS: ALUMINIUM
- > HINGED DOORS: AS SELECTED
- > ROOF CLADDING: COLORBOND
- > RIDGES AND HIPS: COLORBOND
- > GUTTERS: COLORBOND
- > DOWN PIPES: PVC

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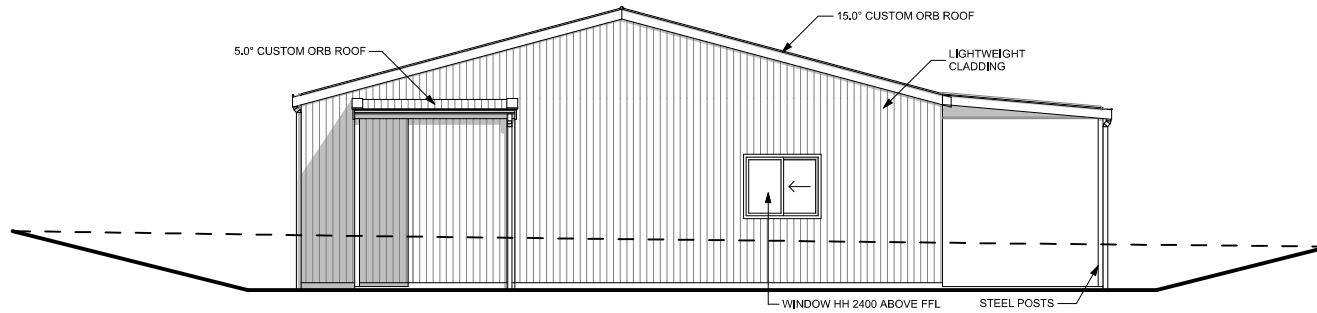
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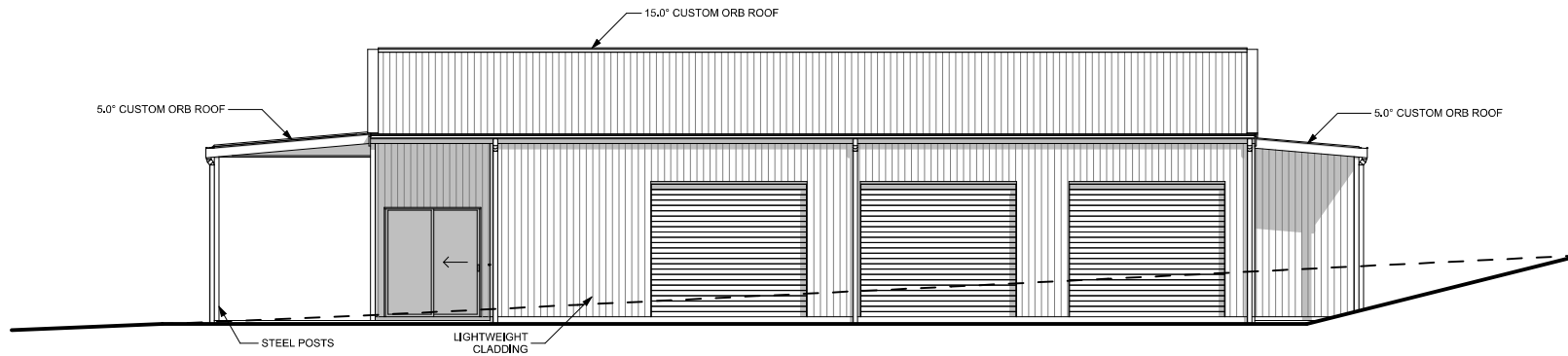
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> NORTH ELEVATION

1:100



> EAST ELEVATION

1:100

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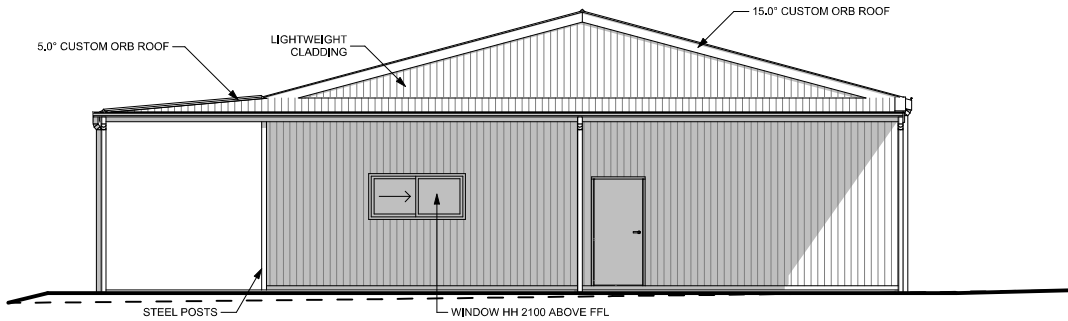
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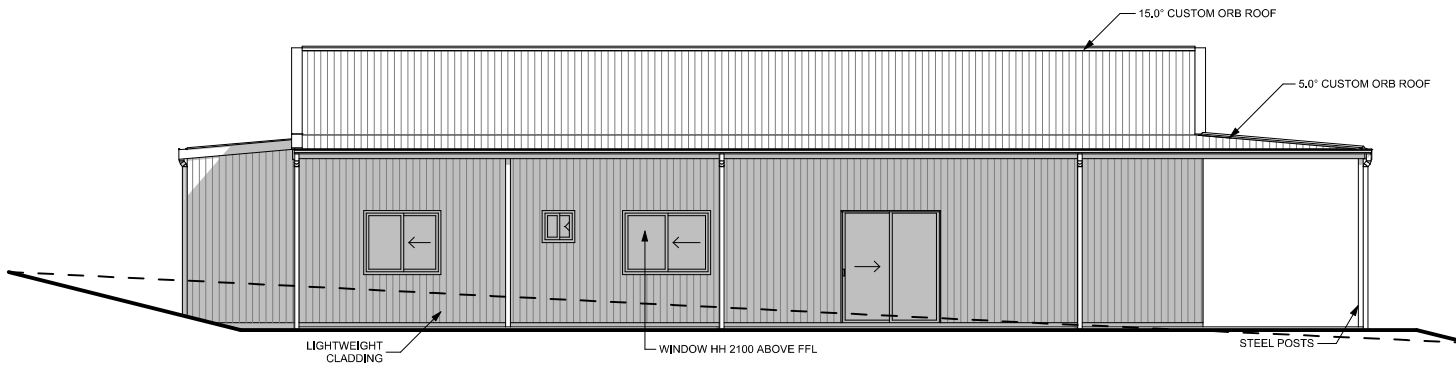
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> SOUTH ELEVATION

1:100



> WEST ELEVATION

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> WINDOW / DOOR SCHEDULE

NUMBER	TYPE	HEIGHT	WIDTH	FLOOR PLAN SYMBOL	EXTERNAL VIEW
D1	ASD	2 100	1 810		
D1	ASD	2 100	1 810		
W1	AS	600	610		
W1	AS	860	1 810		
W1	AS	1 200	1 450		
W1	AS	1 200	1 450		
W1	AS	1 200	1 650		

> DOOR SCHEDULE

NUMBER	TYPE	HEIGHT	WIDTH	FLOOR PLAN SYMBOL	OPENING SIDE VIEW
D1	---	2 040	820		
D1	R/DOOR	2 600	3 000		
D1	R/DOOR	2 600	3 000		
D1	R/DOOR	2 600	3 000		
D2	---	2 040	820		
D2	---	2 040	820		
D2	---	2 040	820		
D2	---	2 040	820		

> WINDOW NOTES

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> WINDOWS LABELLED OBS - OBSCURED GLASS

> WINDOW AND DOOR SCHEDULES TO BE READ IN CONJUNCTION AND CROSS REFERENCED WITH PLANS TO CONFIRM WALL OPENING ORIENTATION. IF IN DOUBT, CONFIRM WITH THE DESIGNER.

> REFER TO BASIX FOR U AND SHGC VALUES AND FRAMING SPECIFICATIONS.

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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS - COMMERCIAL DEVELOPMENT

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig). appropriate excavation practice should be used, and where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

ADVANTAGE

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THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE ORDERING OR CONSTRUCTION STARTS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE DESIGNER.

> Client

> ROBERTS

> Development

> DWELLING

> FERNDALE ROAD, YARRAWA

> LOT 8, DP 1106497

> DEVELOPMENT APPLICATION

> Designer

> TB

> Drafter

> JVA

> Job No.

> 5372

> Revision No.

> DA-1

> Drawing No.

> 1.12

> DO NOT SCALE. IF IN DOUBT, ASK

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